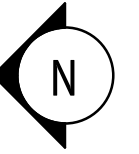


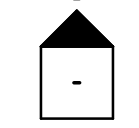
ABBREVIATION LEGEND

3PL	THIRD PARTY LOGISTICS
A/C	AIR CONDITIONING
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISHED FLOOR
AMP	AMPERE
ARCH	ARCHITECT
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
CM	CONSTRUCTION MANAGER
CTR	CENTER
CX	COMMISSIONING
CXA	COMMISSIONING AGENT
DEG	DEGREE
DET	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
EA	EACH
EL	ELEVATION
EQ	EQUAL
EXIST	EXISTING
EXT	EXTERIOR
FF&E	"FURNITURE, FIXTURE, AND EQUIPMENT"
FIO	FURNISHED AND INSTALLED BY OWNER
FLR	FLOOR
FT	FOOT/FEET
G	GROUND
GC	GENERAL CONTRACTOR
HC	HOLLOW CORE
HDW	HARDWARE
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	"HEATING, VENTILATING, AND AIR CONDITIONING"
ID	INSIDE DIAMETER
LL	LANDLORD
MAX	MAXIMUM
MEP	"MECHANICAL, ELECTRICAL, AND PLUMBING"
MFR	MANUFACTURER
MIN	MINIMUM
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF/CI	OWNER FURNISHED/CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/OWNER INSTALLED
PLC	PLACE
PM	PROJECT MANAGER
R	RADIUS
RCM	RENOVATIONS CONSTRUCTION MANAGER
REF	REFERENCE
REQ(D)	REQUIRE(D)
REV	REVISION
RND	ROUND
SC	SOLID CORE
SF	SQUARE FEET
SHT	SHEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
TEMP	TEMPORARY
TYP	TYPICAL
UON	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VIF	VERIFY IN FIELD

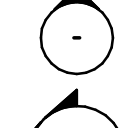
SYMBOL LEGEND



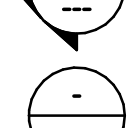
NORTH ARROW




EXTERIOR ELEVATION




INTERIOR ELEVATION




SECTION CALLOUT



DETAIL CALLOUT



REVISION TAG



REVISION CLOUD

PXXX-ES


PAINT TAG

XXXXX

DESIGN ID TAG

XXXXX

DOOR/WINDOW TAG



DATUM POINT

X'-XX" AFF

ABOVE FINISHED FLOOR
HEIGHT TAG (IMPERIAL)

XXXX AFF

ABOVE FINISHED FLOOR
HEIGHT TAG (METRIC)

X' - XX"

DIMENSION LINE FROM
FINISH FACE TO FINISH
FACE

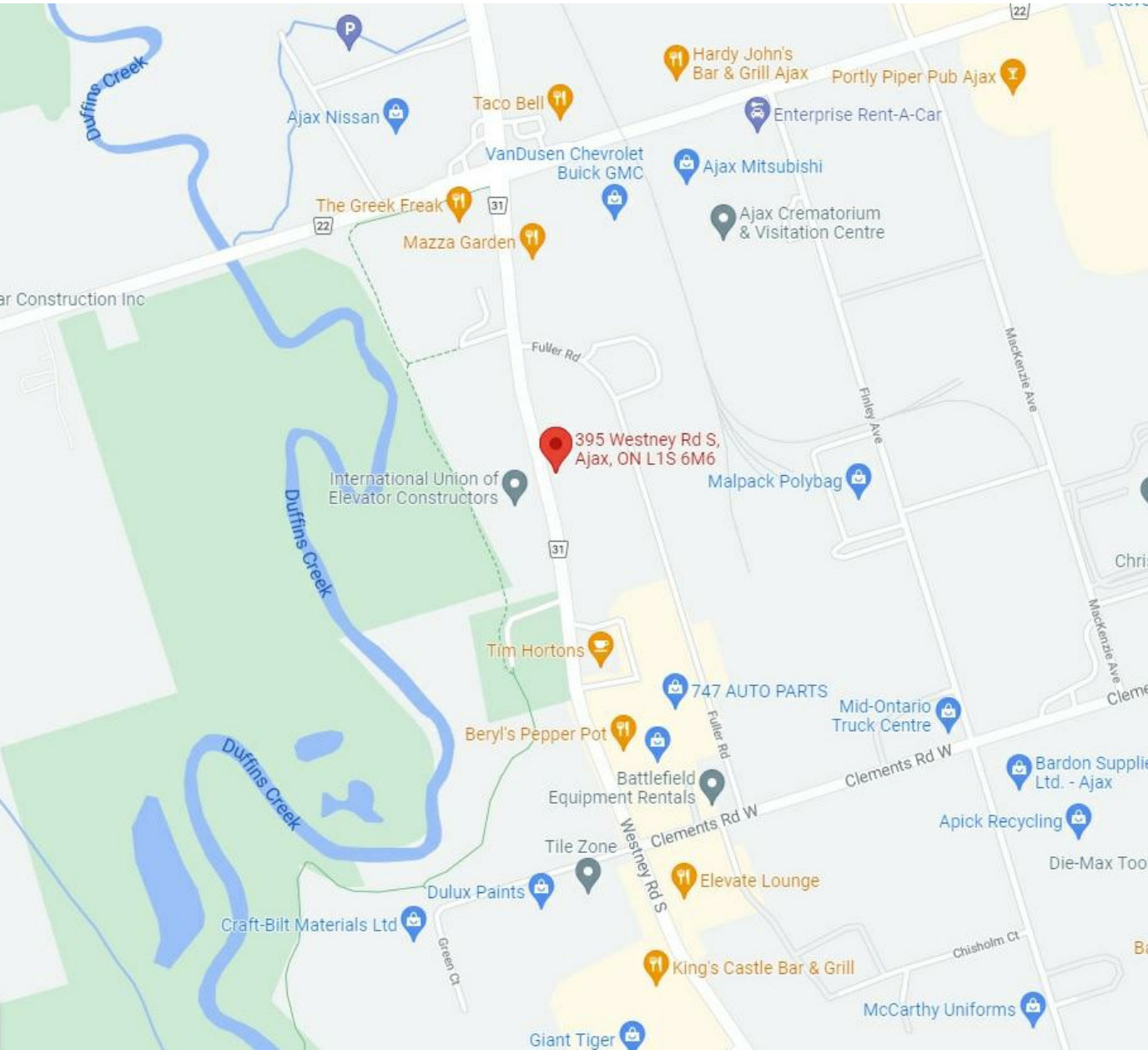
OBC PART 11

O.B.C. DATA MATRIX

Name of Practice: Belinda Jones Architect 159 Martin Street, Milton, ON L9T 2R3 (T) (416) 662 6024 (E) belinda@belindajones.ca			Name of Project: 395 WESTNEY ROAD S - INTERIOR ALTERATIONS			The architect noted above has exercised responsible control with respect to design activities.
Address: 395 WESTNEY ROAD S AJAX ON						
Data Matrix Part 11 - Renovation of Existing Building						OBC Reference
11.1	Existing Building Classification:	Describe Existing Use: <u>GROUP D & F3 Warehouse</u> Construction Index: N/A Hazard Index: N/A <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)				11.2.1 T 11.2.1.1A T 11.2.1.1B to N
11.2	Alteration to Existing Building is:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>				11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level:	Structural: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By Increase in Occupant Load: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Plumbing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Sewage System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By Change in Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)				11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternates Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (Give Numbers)				11.5.1

2006 Building Code Data Matrix, Part 11
© 2009 Ontario Association of Architects
September, 2008

SITE MAP



PROJECT INFORMATION

PROJECT DESCRIPTION:	INTERIOR ALTERATIONS INCLUDING ASSOCIATED ELECTRICAL, MECHANICAL AND STRUCTURAL WORK.
ZONING CLASSIFICATION:	COMMERCIAL ZONING
TYPE OF CONSTRUCTION:	NON-COMBUSTIBLE
PROPOSED USE OF BUILDING:	GROUP D - BUSINESS AND PERSONAL SERVICES AND GROUP F3 WAREHOUSE
CURRENT USE OF BUILDING:	GROUP D - BUSINESS AND PERSONAL SERVICES AND GROUP F3 WAREHOUSE
OCCUPANT LOAD:	BUILDING - 25
AREA OF WORK:	77.75 sqm [836.89 FT.2]

BARRIER-FREE NOTES - LEGEND

- LEVEL LANDING THRESHOLD
- BARRIER-FREE PATH OF TRAVEL: MIN. 1100MM (3'-7 1/2") CLEARANCE TO OBSTRUCTIONS
- CLEARANCE FOR BARRIER-FREE SEATING: MIN. 1100MM X 1200MM (44"X48") CLEAR FOR WHEELCHAIR ACCESS
- MINIMUM CLEARANCE @ WASHROOM DOORS: MIN. 850MM (33 1/2") CLEAR FOR WHEELCHAIR ACCESS
- MINIMUM TURNING RADIUS: 1500MM (60") DIAMETER CLEAR FOR WHEELCHAIR ACCESS
- ALL THRESHOLDS TO BE BARRIER FREE PER ALL APPLICABLE CODES
- EXISTING COMMON WASHROOMS (N.I.C.)

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE DRAWINGS AS SUBMITTED AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH OWNER OR CONSULTANT TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, PROVINCIAL, AND FEDERAL CODES AND ORDINANCES. THE MOST STRINGENT SHALL APPLY.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY OWNER OR CONSULTANT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE. ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILINGS, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS EXCEPT FOR THE BUILDING PERMIT (BY ARCHITECT) PRIOR TO THE INSTALLATION OF SUCH SYSTEMS AS REQUIRED.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S "CLOSE-OUT PACKAGE".
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS TO SITE WITH THE OWNER.
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION, UNLESS OTHERWISE NOTED.
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR CONSULTANT. NO SUBSTITUTIONS PRIOR TO TENDER CLOSE. THE OWNER WILL HAVE FINAL SAY IN ACCEPTING OR REFUSING ANY REQUEST.
- REFER TO ITEM CUTSHEETS FOR ADDITIONAL INFORMATION.

PROJECT CONTACTS

ARCHITECT:	Belinda Jones 159 Martin Street Milton, ON L9T 2R3 c: (416) 662 6024 e: belinda@belindajones.ca
	In association with: Rick Mateljan SMDA Design Architecture c: (416) 315 4567 e: rick.mateljan@smda.ca
MECHANICAL ENG.:	YMSD Consulting Dan Pusica 226 Pacific Ave Toronto, ON M6P 2P5 c: 416 763 2144 e: project@ymsd.com
STRUCTURAL ENG.:	Reinders & Law Steve Law 64 Ontario Street N Milton, ON L9T 2T1 c: (905) 457-1618 Ext 1308 e: stevel@reinders.ca

Drawing Index			
Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
A-1.0	General Information	Interior Reno Only	210917
A-1.1	Site Plan- Existing		
A-2.1	Exist. Floor Plan w/ Demolition		
A-2.3	Proposed First Floor		
A-2.5	Reflected Ceiling Plan - Offices		
A-2.7	Detail Sheet		
A-3.0	Existing Elevations		

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B

J

A

LIVE THE DREAM

Belinda Jones Architect

159 Martin Street

Milton, ON

L9T 2R3

P 416-662 6024

Revision Schedule			
Rev	Date	By	Description
1	210917	BJ/SMDA	Interior Reno Only

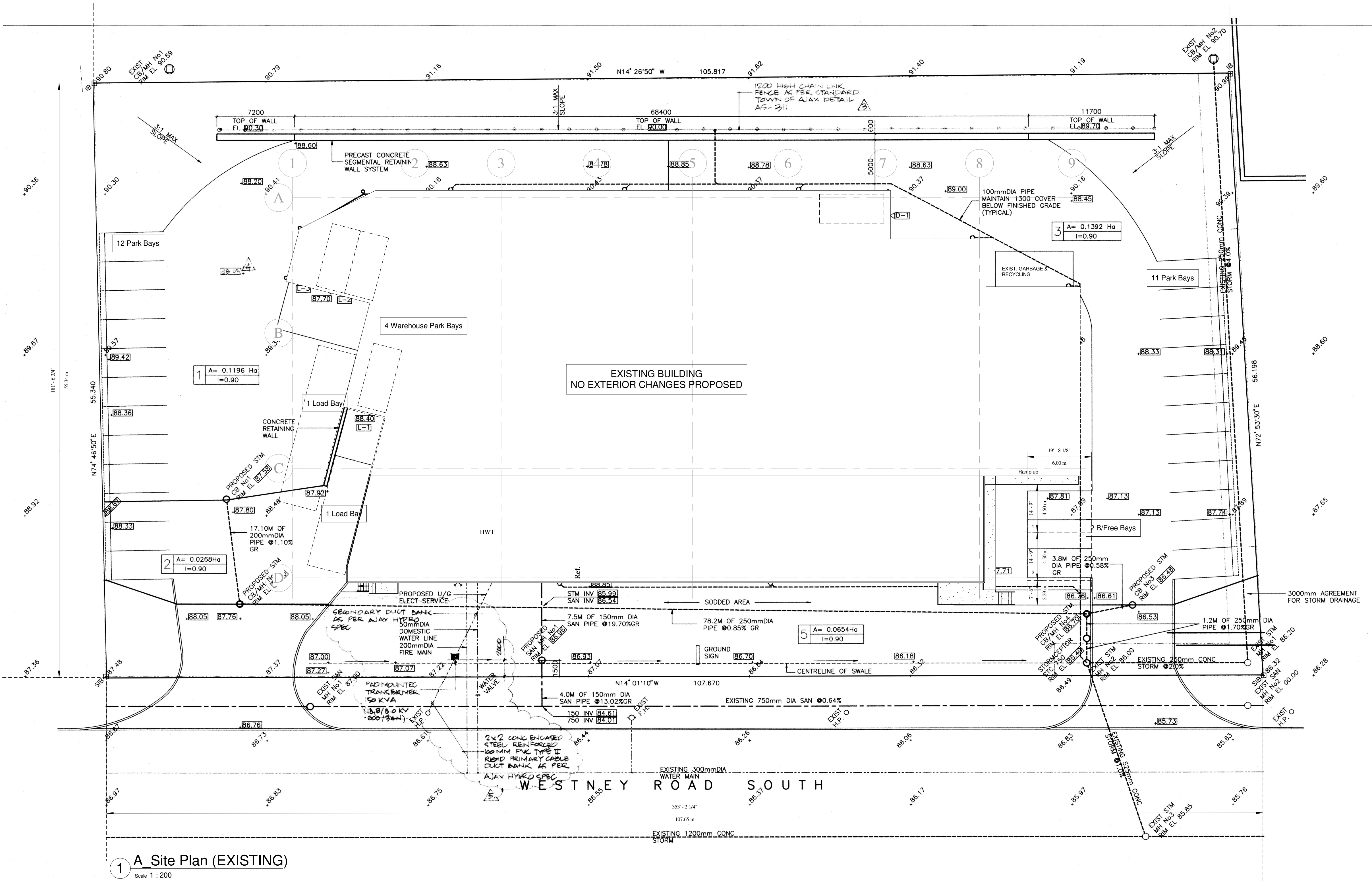
PROJECT NAME:
Office Expansion

PROJECT ADDRESS:
**395 Westney Rd S
Ajax ON**

SHEET TITLE:	General Information
SCALE:	As indicated
SHEET NUMBER:	A-1.0

PARKING SCHEDULE

PARKING SCHEDULE:			
TYPE	EXIST.	PROP.	REQU.
STANDARD	30	0	29
Warehouse 1 per 500sm	3.24 (1821sm)	3.08 (1542.9 sm)	
Offices 1 bay per 288sm	22.6 (634 sm)	25.4 (712.60 sm)	
Total	25.84 (26)	28.5 (28 prov.)	
B-FREE BAY 6m x 4.5m (+2.75m)	0	2	2
LOADING BAY 15m x 3m	2	0	2



1 A Site Plan (EXISTING)
Scale 1 : 200

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P 416-662 6024

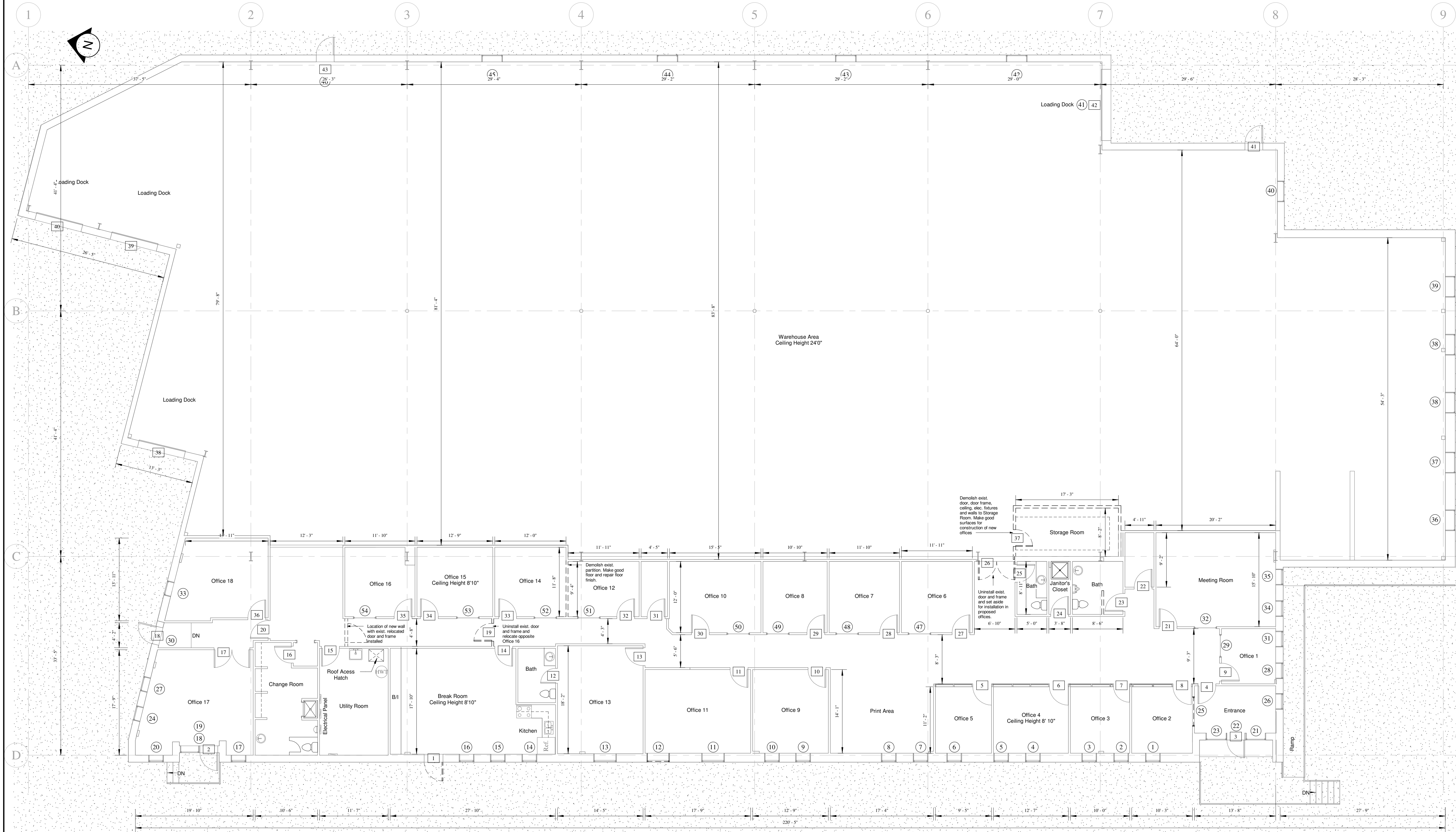
Revision Schedule			
Rev	Date	By	Description

PROJECT NAME: Office Expansion
PROJECT ADDRESS: 395 Westney Rd S
Ajax ON

SHEET TITLE: Site Plan- Existing

SCALE: As indicated

SHEET NUMBER: A-1.1



1- A Floor 1 (EXISTING)
1/8" = 1'-0"

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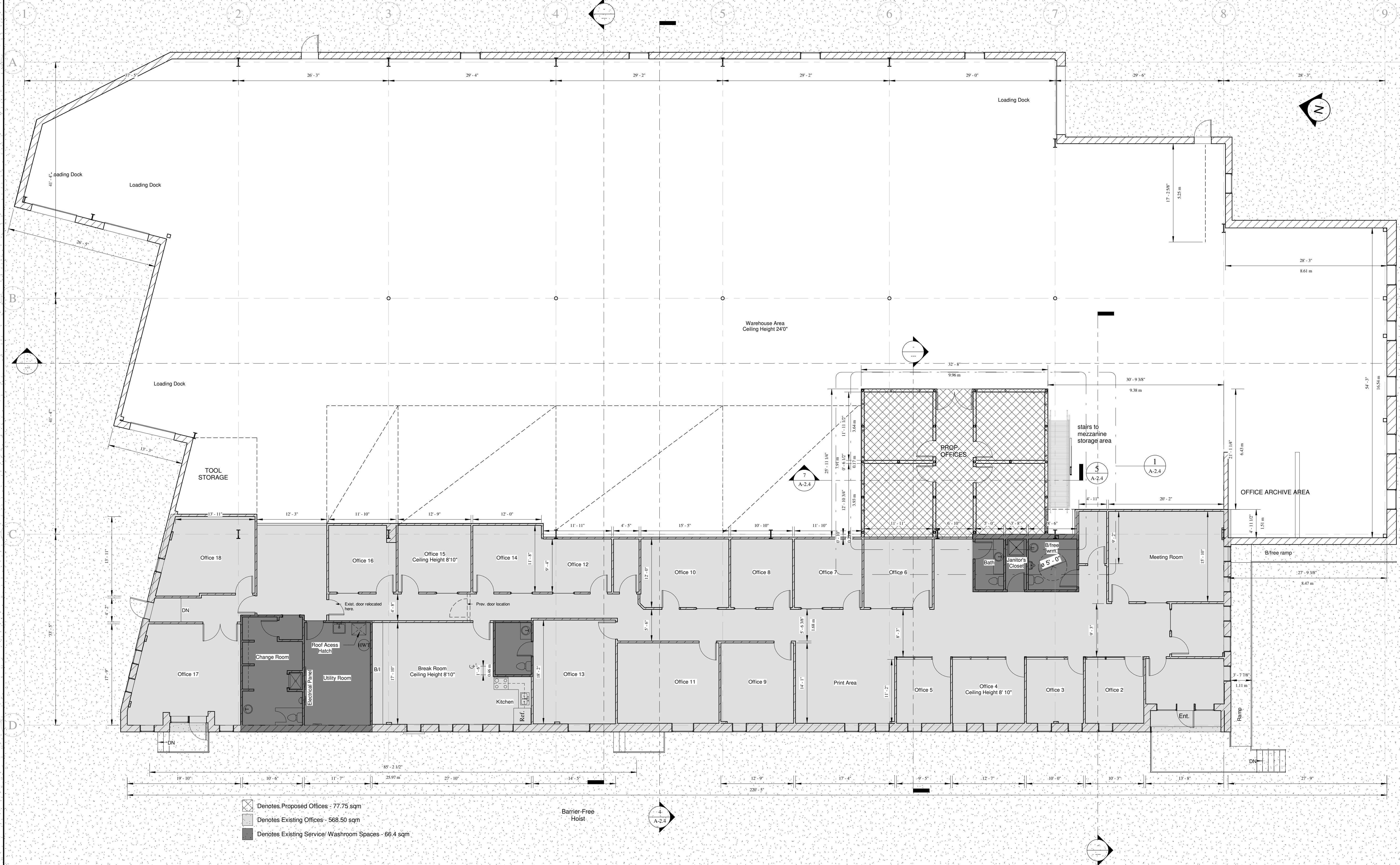
Revision Schedule			
Rev	Date	By	Description

PROJECT NAME:
Office Expansion
PROJECT ADDRESS:
**395 Westney Rd S
Ajax ON**

SHEET TITLE:
**Exist. Floor Plan w/
Demolition**

SCALE: 1/8" = 1'-0"

SHEET NUMBER:
A-2.1



1 A_First Floor (PROP)
1/8" = 1'-0"

- Denotes Proposed Offices - 77.75 sqm
- Denotes Existing Offices - 568.50 sqm
- Denotes Existing Service/ Washroom Spaces - 66.4 sqm

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SMDA

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159 Martin Street
Milton, ON
L9T 2R3
P 416-662-6024

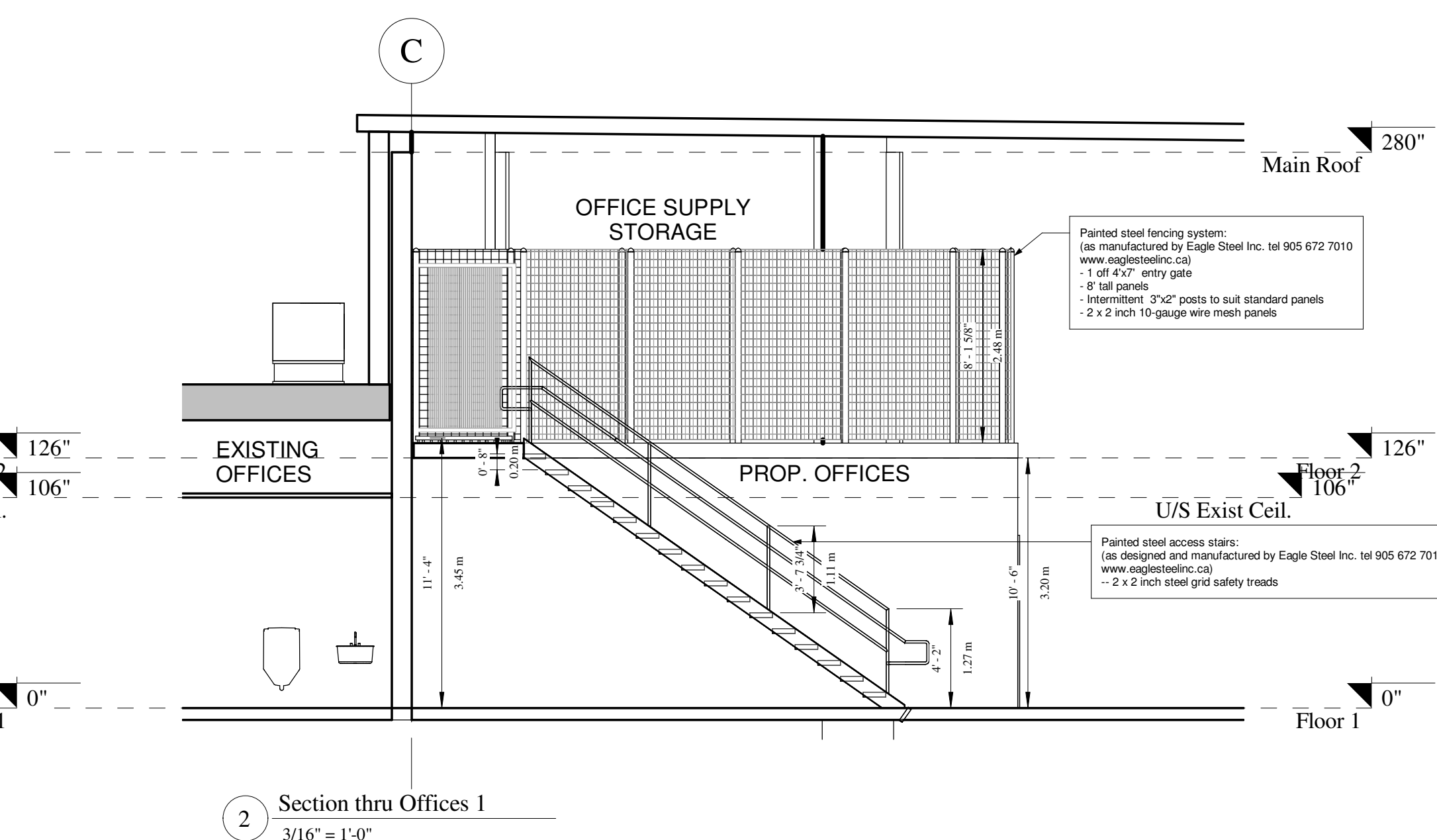
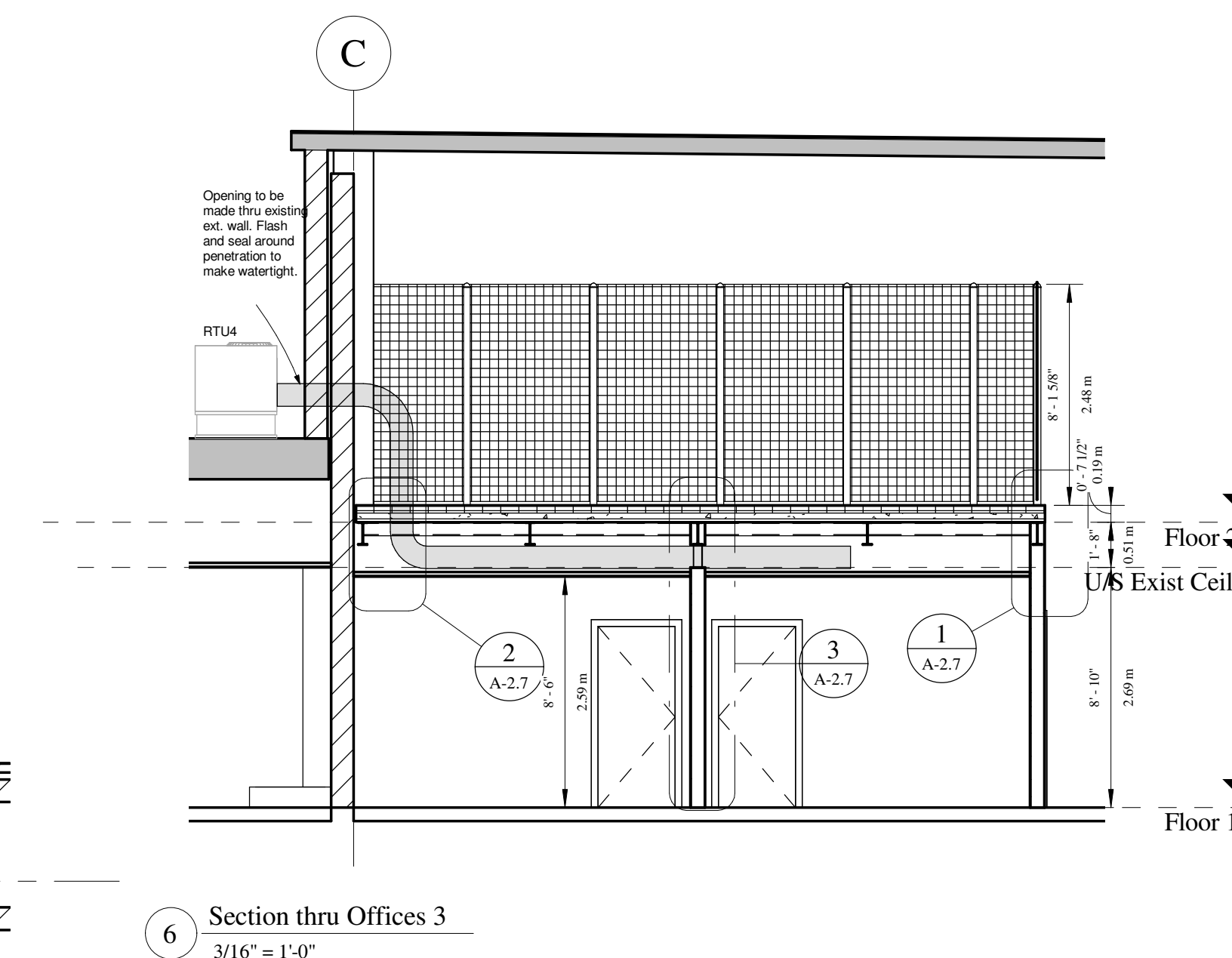
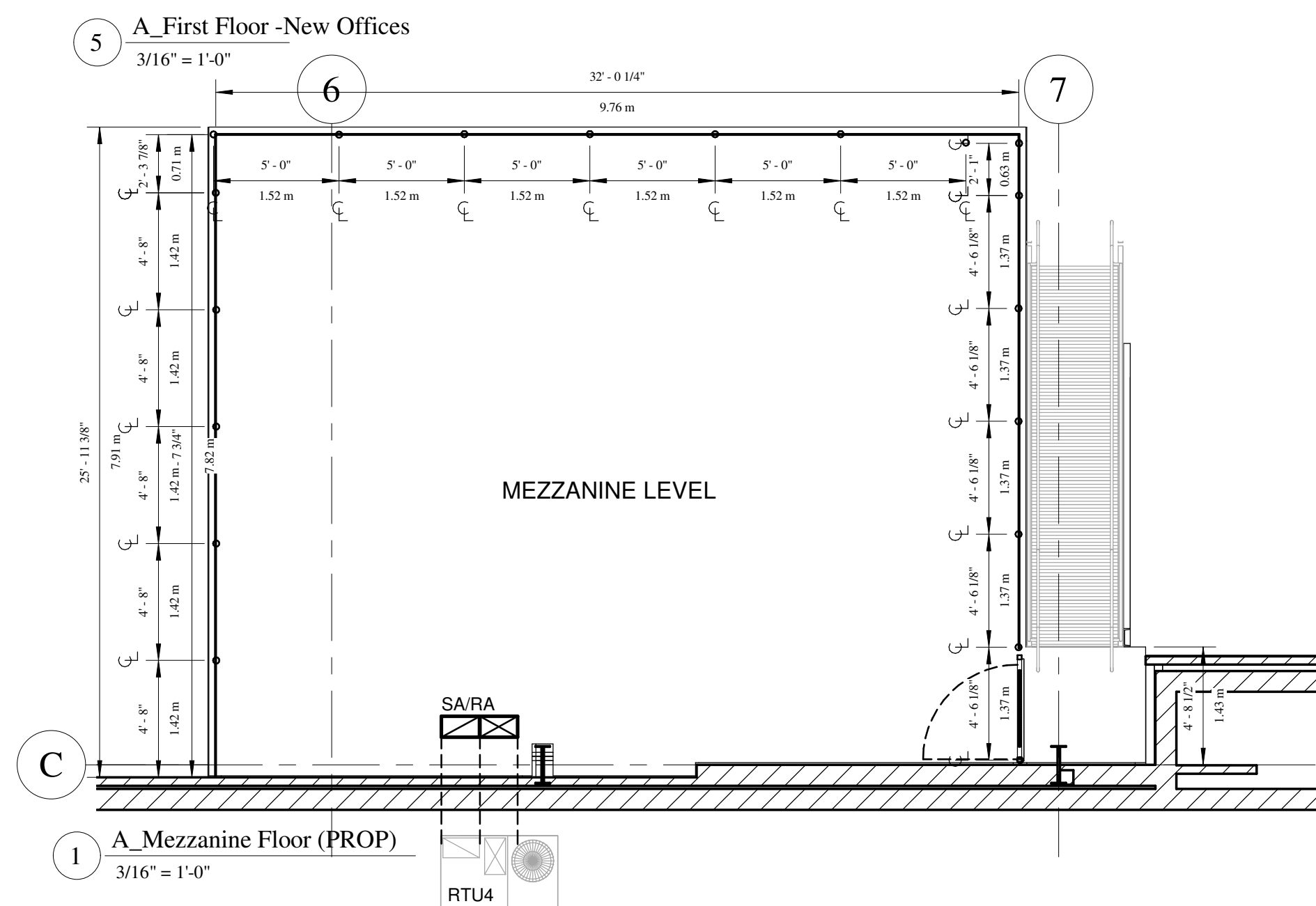
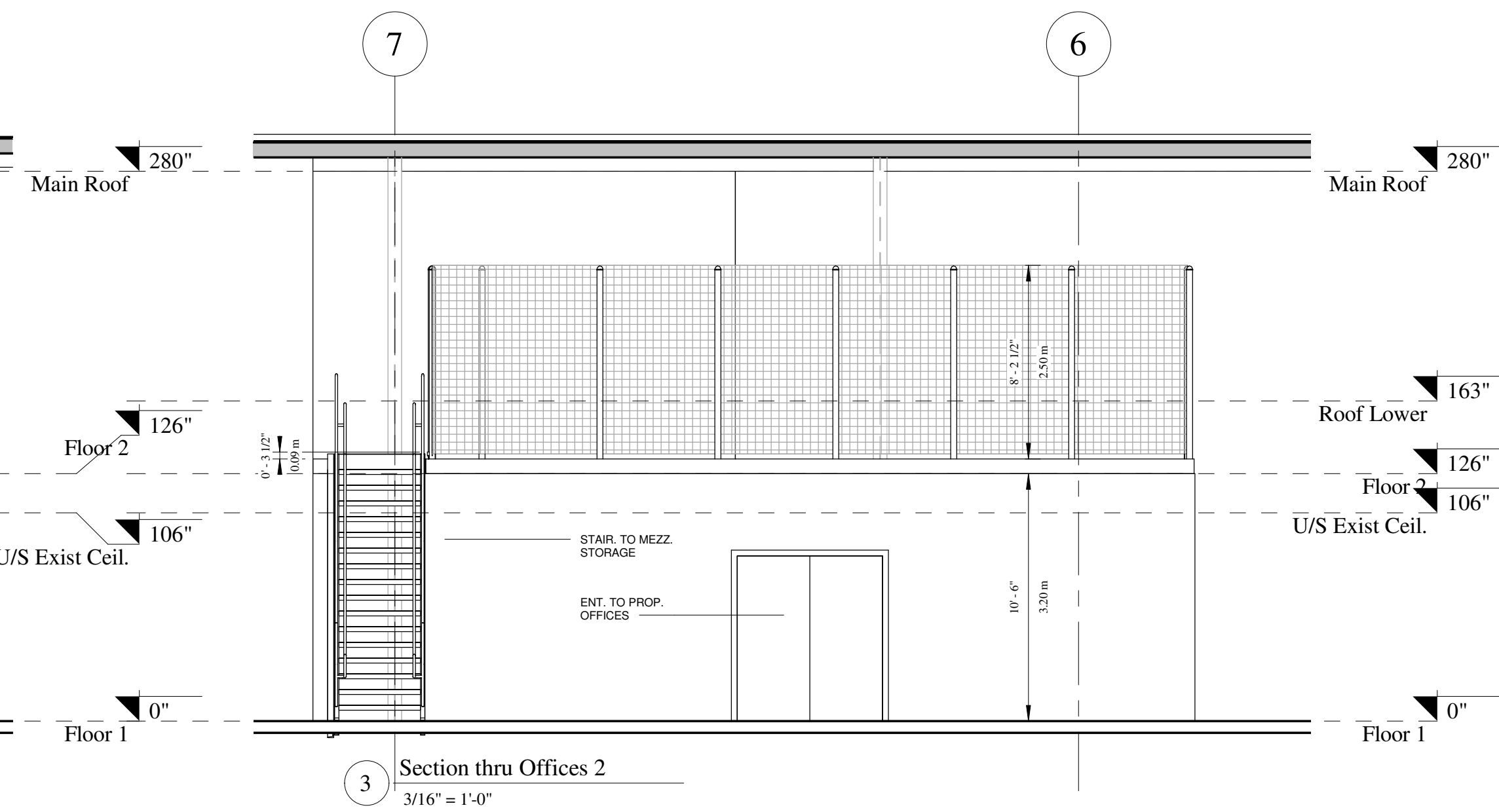
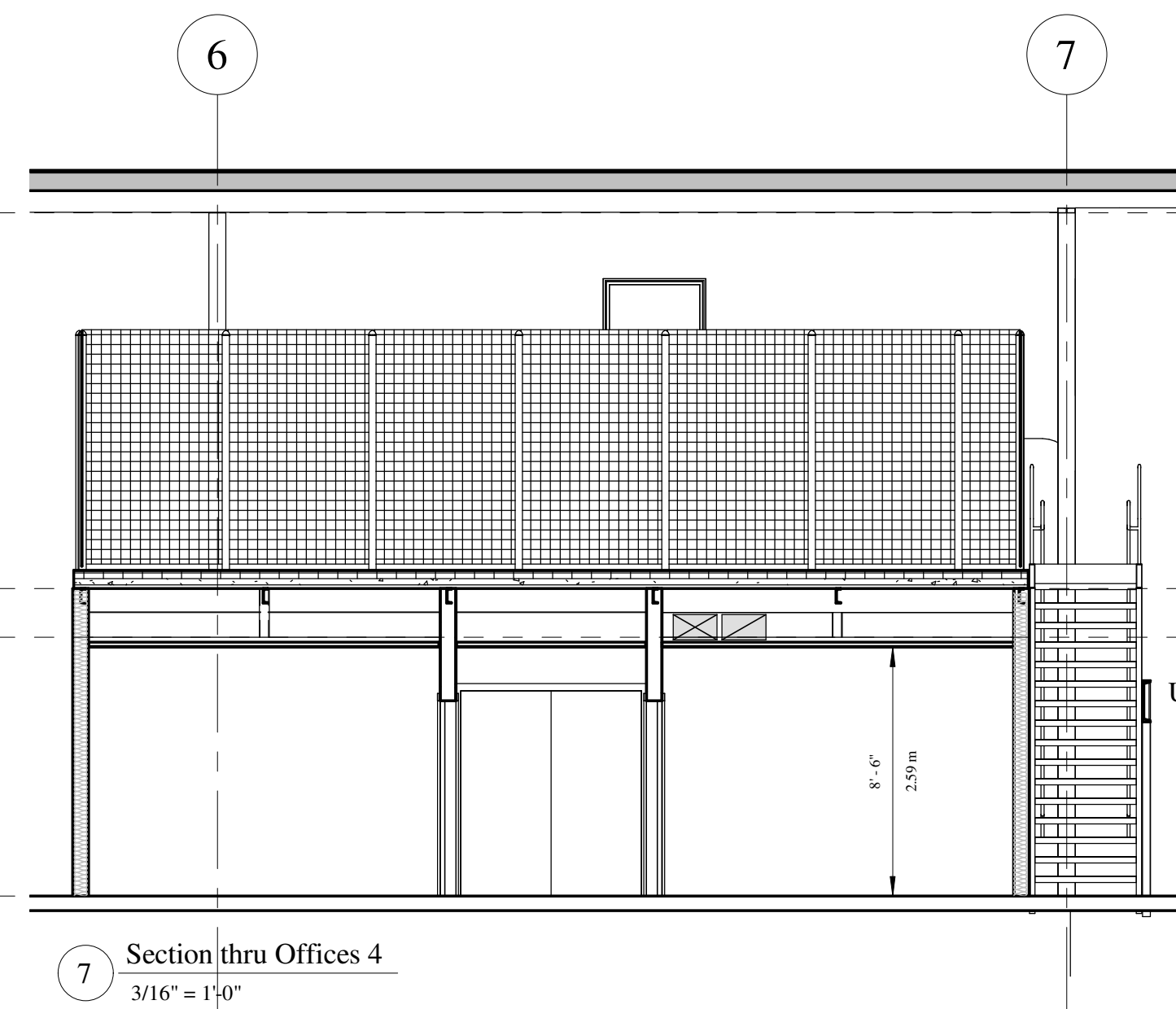
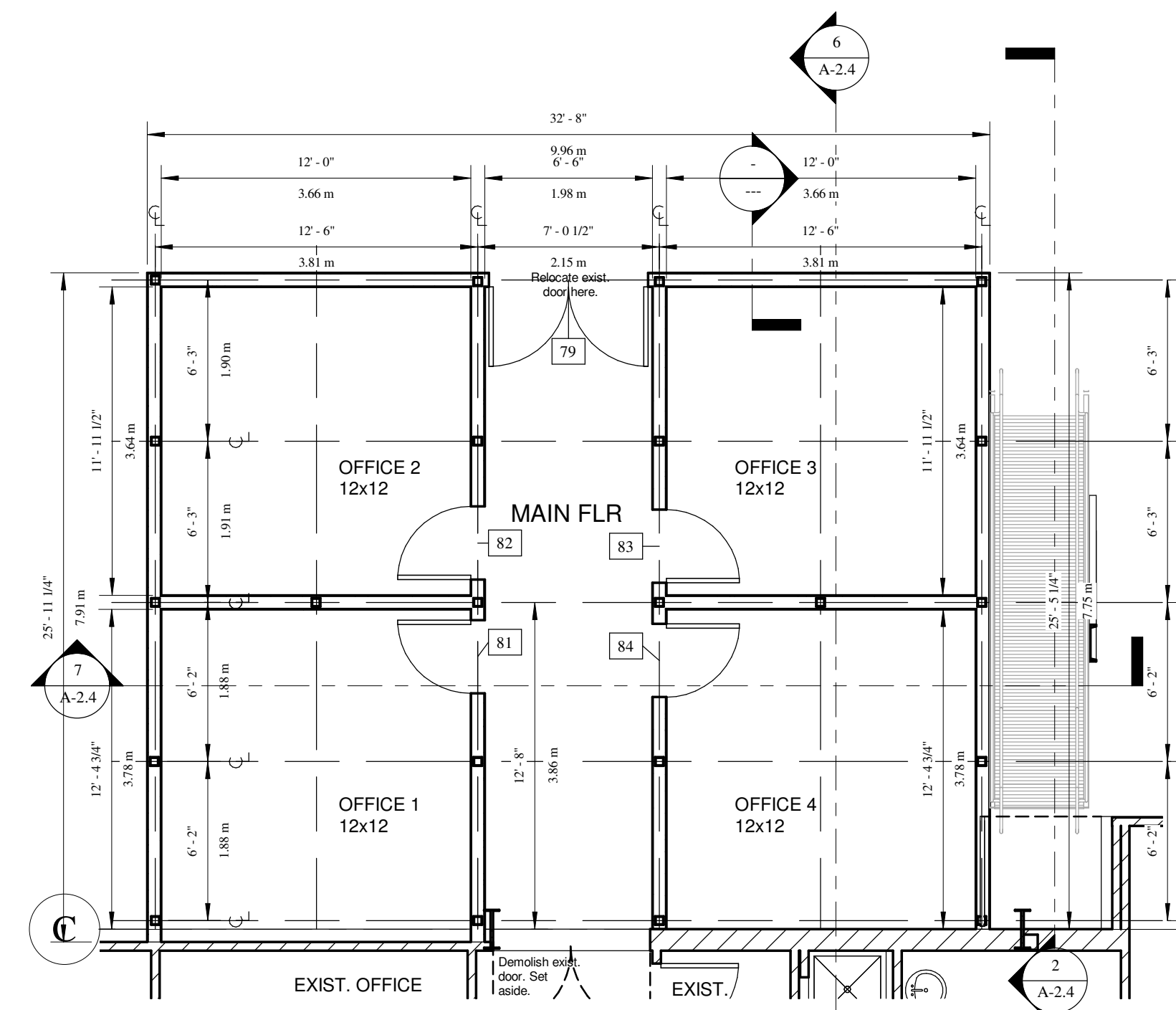
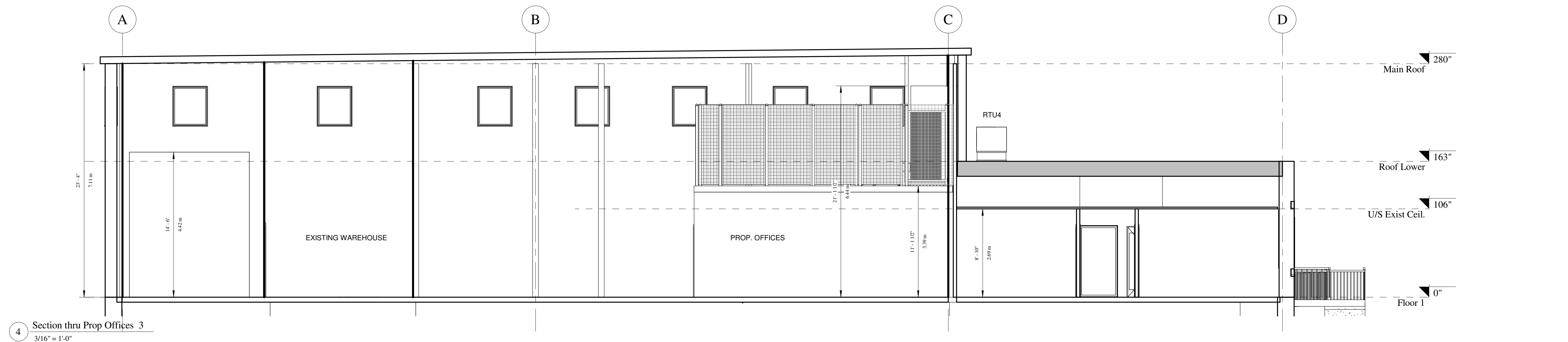
Revision Schedule			
Rev	Date	By	Description

PROJECT NAME: Office Expansion
PROJECT ADDRESS: 395 Westney Rd S
Ajax ON

SHEET TITLE: Proposed First Floor

SCALE: 1/8" = 1'-0"

SHEET NUMBER: A-2.3



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B J A
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L9T1M2R3

P 416-662 6024

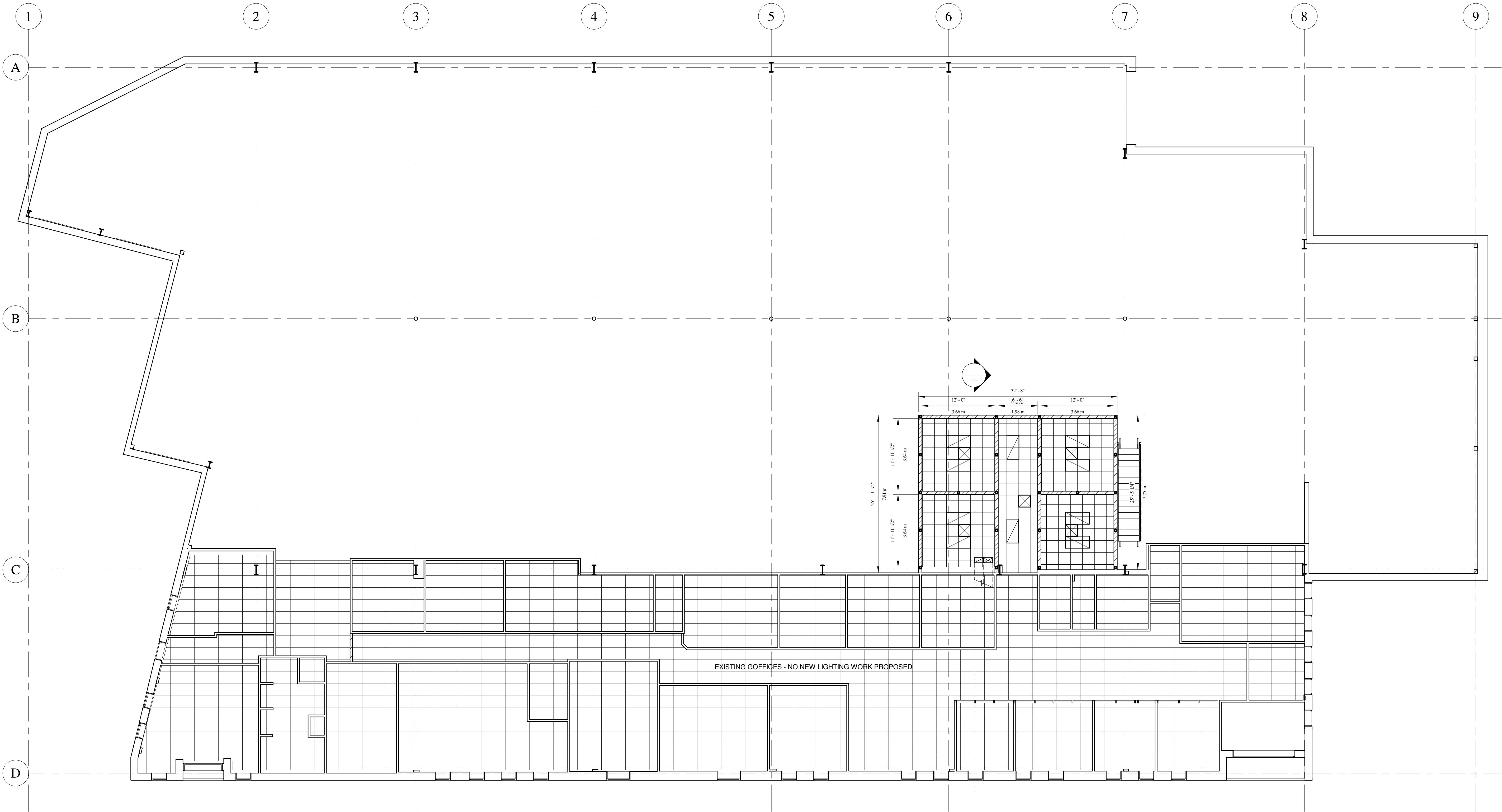
Revision Schedule			
Rev	Date	By	Description

PROJECT NAME: **Office Expansion**

PROJECT ADDRESS: **395 Westney Rd S
Ajax ON**

SHEET TITLE: Proposed Storage Mezzanine

SHEET NUMBER:
A-2.4



1 U/S Exist Ceil.
1 : 100

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Milton ON
LIVE THE DREAM L9T0Z83
P 416-662 6024

Revision Schedule			
Rev	Date	By	Description

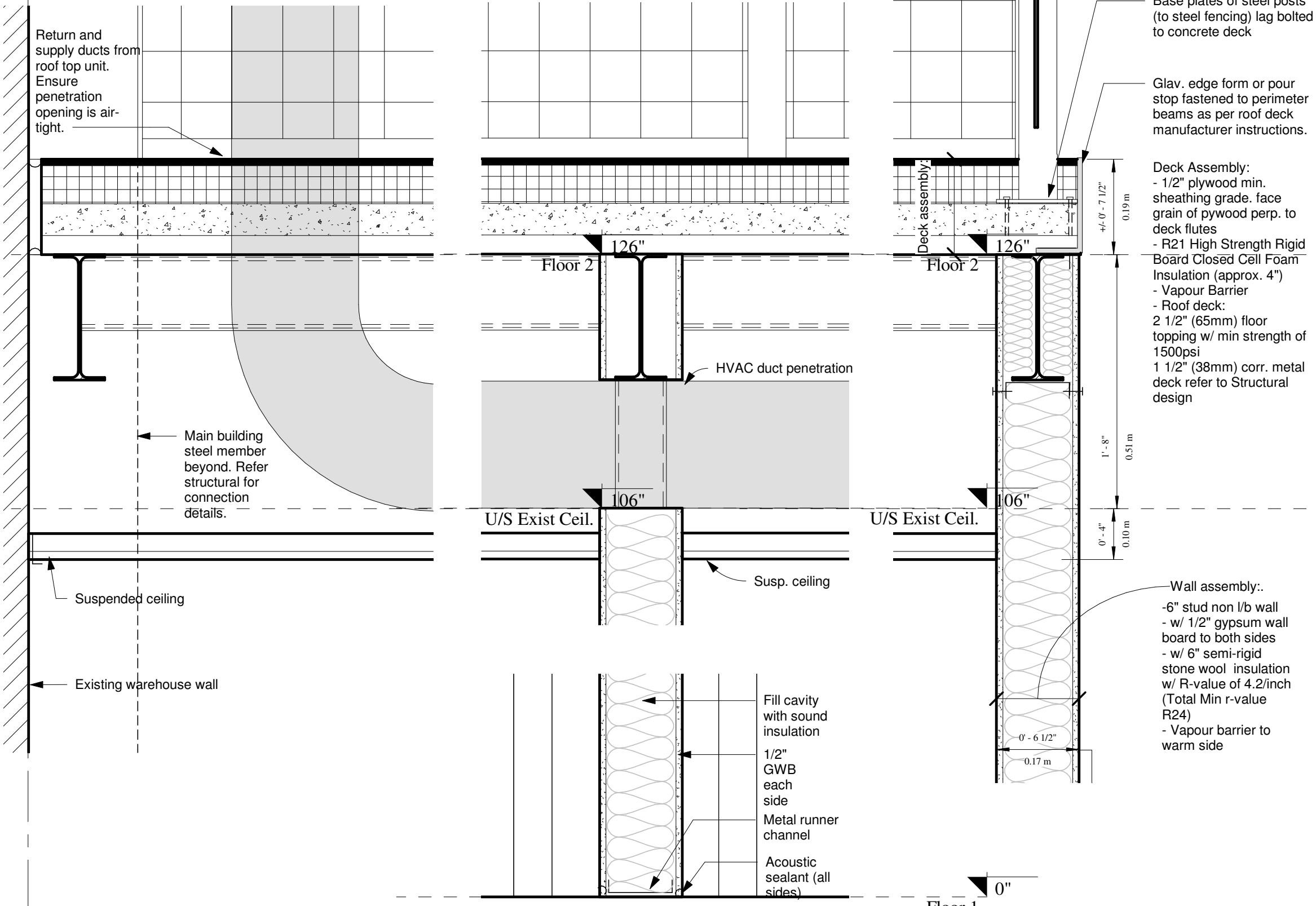
PROJECT NAME:
Office Expansion
PROJECT ADDRESS:
**395 Westney Rd S
Ajax ON**

SHEET TITLE:
**Reflected Ceiling Plan -
Offices**

SCALE: 1 : 100

SHEET NUMBER:
A-2.5

C



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B J A
LIVE THE DREAM

Belinda Jones
Architect
159 Martin
Street
Milton ON
L9T 2R3
P 416-662 6024

Project #: 15-005

Revision Schedule			
Rev	Date	By	Description

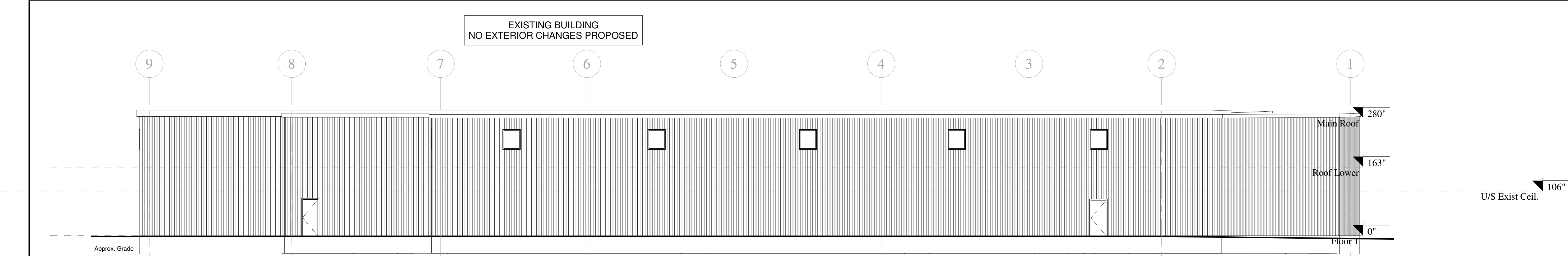
Project Name:
Office Expansion

Project Address:
**395 Westney Rd S
Ajax ON**

Sheet Title:
Detail Sheet

Scale: 1 1/2" = 1'-0"

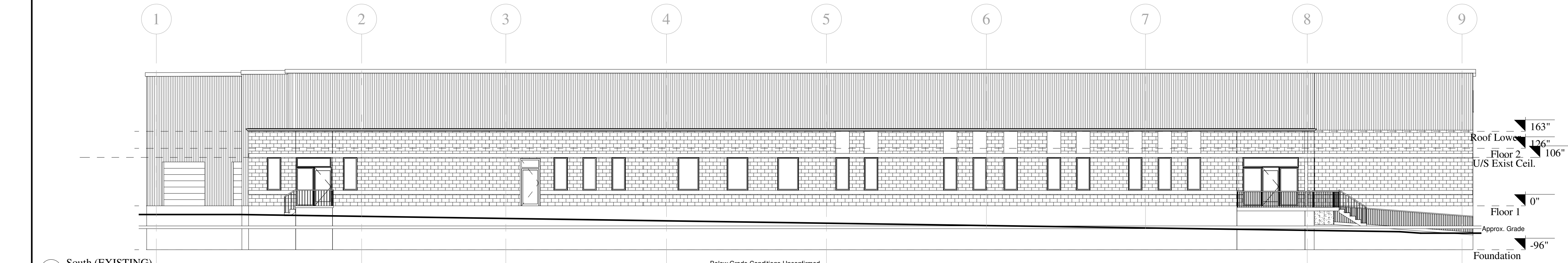
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A-2.7



1 North (EXISTING)
3/32" = 1'-0"

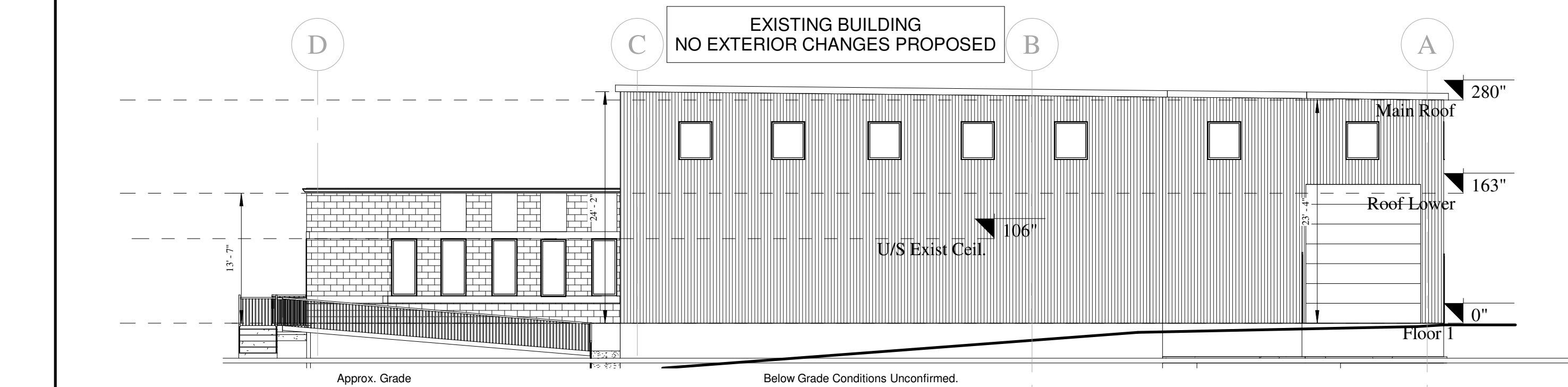
EXISTING BUILDING
NO EXTERIOR CHANGES PROPOSED

Below Grade Conditions Unconfirmed.
Shown For Illustration Purposes Only.

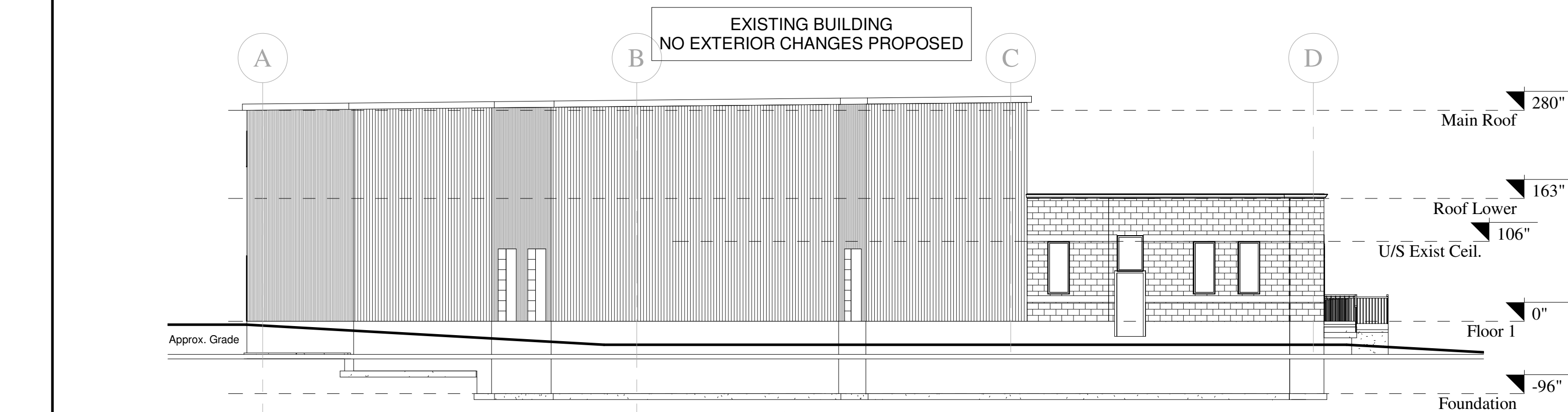


2 South (EXISTING)
3/32" = 1'-0"

Below Grade Conditions Unconfirmed.
Shown For Illustration Purposes Only.



3 East (EXISTING)
3/32" = 1'-0"



4 West (EXISTING)
3/32" = 1'-0"

Below Grade Conditions Unconfirmed.
Shown For Illustration Purposes Only.

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SMDA

B J A Belinda Jones Architect
159 Martin Street
Milton ON
LIVE THE DREAM L9T0Z83
P 416-662 6024

Revision Schedule			
Rev	Date	By	Description

PROJECT NAME:
Office Expansion
PROJECT ADDRESS:
**395 Westney Rd S
Ajax ON**

SHEET TITLE:
Existing Elevations

SCALE: 3/32" = 1'-0"

SHEET NUMBER:
A-3.0